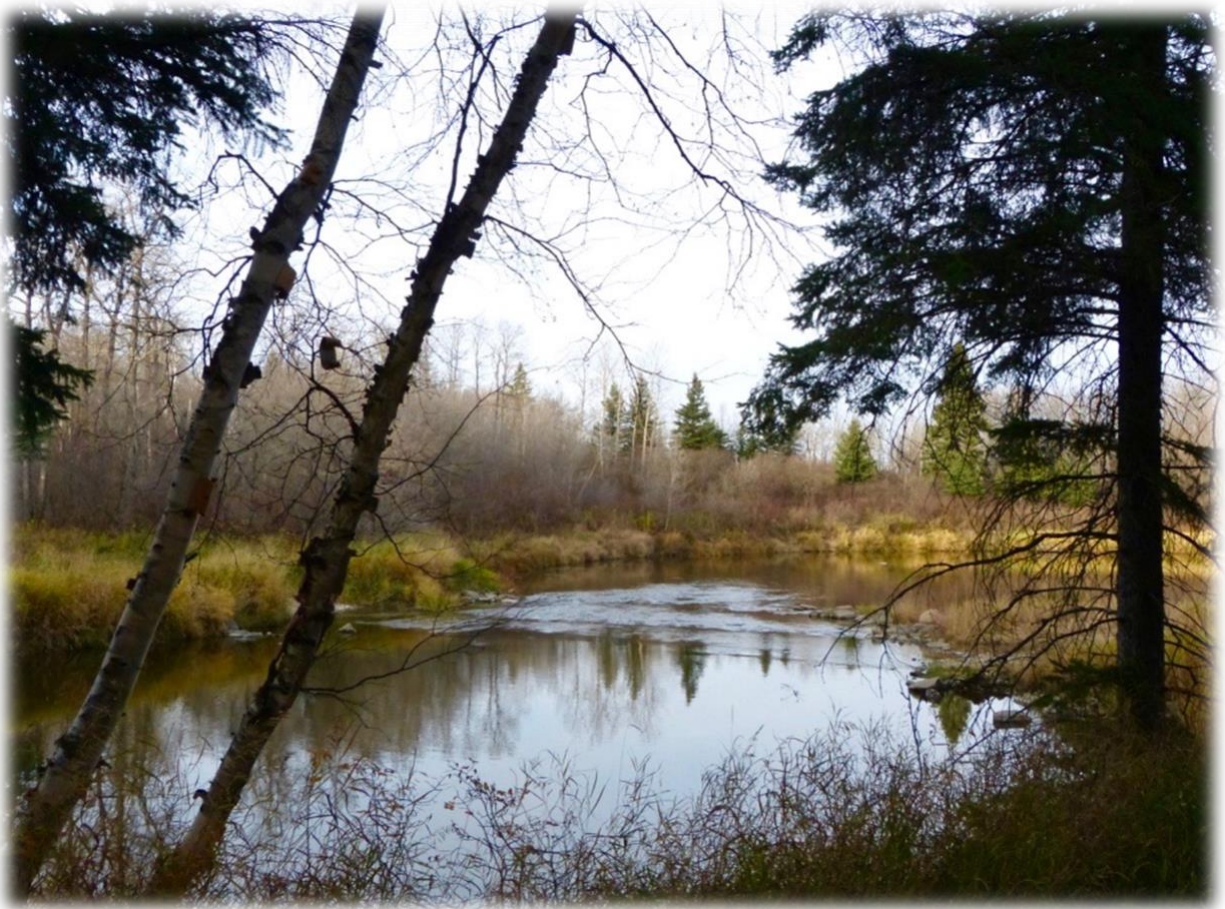


**RM OF KEYS NO. 303**

**SASKATCHEWAN**



**Official Community Plan**

**Bylaw No. 05-2021**

**Rural Municipality of Keys No. 303**

**Bylaw No. 05-2021**

**A Bylaw to adopt an Official Community Plan.**

1. Pursuant to Section 45 of *The Planning and Development Act, 2007*, the Council of the RM of Keys No. 303 hereby adopts Schedule A, known as the Official Community Plan, which is attached to and forms part of this Bylaw.
2. Bylaw No. 2004-02 and all amendments to is hereby repealed.
3. This Bylaw shall come into force on the date of final approval by the Minister of Government Relations.

Read a first time this 4<sup>th</sup> day of February, 2021.

Read a second time this 1st day of April, 2021.

Read a third time this 1st day of April, 2021.

CERTIFIED a true copy of Bylaw No. 05-2021

adopted by Resolution of Council on the

1<sup>st</sup> day of April, 2021.

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REEVE

SEAL

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ADMINISTRATOR



**Schedule A**

RM of Keys No. 303

Bylaw No. 05-2021

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# 1 INTRODUCTION

## 1.1 AUTHORITY

Sections 29, 31, and 32 of *The Planning and Development Act* (the PDA or Act) authorizes a municipal council to prepare, in consultation with a Registered Professional Planner, an Official Community Plan. The Rural Municipality of Keys No. 303 (the RM) has prepared this document for adoption as the Official Community Plan (Plan or OCP). The Plan will provide Council with goals, objectives, and policies relating to the future growth and development within the RM.

## 1.2 PURPOSE

The purpose of this Plan is to provide a comprehensive policy framework to guide the physical, environmental, economic, social, and cultural development of the RM.

## 1.3 APPLICABLE LANDS

This Plan shall apply to all the lands within the physical boundaries of the RM. Development shall not be carried out unless it is in conformance with this Plan.

## 1.4 LEGISLATIVE REQUIREMENTS

- a) As per the PDA, an official community plan shall incorporate, insofar as practical, any applicable provincial land use policies and statements of provincial interest.
- b) An official community plan shall contain statements of policy with respect to:
  - i. Sustainable current and future land use and development in the municipality;
  - ii. Current and future economic development;
  - iii. The general provision of public works;
  - iv. The management of lands that are subject to natural hazards, including flooding, slumping and slope instability;
  - v. The management of environmentally sensitive lands;
  - vi. Source water protection;
  - vii. The means of implementing the Plan;
  - viii. The co-ordination of land use, future growth patterns and public works with adjacent municipalities;
  - ix. If the municipality has entered into an intermunicipal development agreement pursuant to section 32.1, the implementation of the intermunicipal development agreement;
  - x. The provision of municipal reserve for school purposes, including policies that:
    - a. Ensure the creation of municipal reserve sites suitable in size to be used for school purposes;

- b. Designate the location of municipal reserve sites to be used for school purposes; and
    - c. Provide for the dedication of land or money in lieu of land through the subdivision process that supports equity for all subdivision applicants and municipalities within the region; and
  - xi. The management of lands that are in proximity to existing or proposed railway operations.
- c) An official community plan may:
- i. Address the co-ordination of municipal programs relating to development;
  - ii. Contain statement of policy regarding the use of dedicated lands;
  - iii. Contain concept plans pursuant to section 44 of the PDA;
  - iv. Contain a map, or series of maps, that denote current or future land use or policy areas;
  - v. If a council has been declared an approving authority pursuant to subsection 13(1) of the PDA, contain policies respecting site plan control for specific commercial or industrial development pursuant to section 10 of the PDA; and
  - vi. Contain any other statements of policy relating to the physical, environmental, economic, social or cultural development of the municipality that the council considers advisable.

## 2 MUNICIPAL VISION AND GOALS

### 2.1 VISION STATEMENT

The Rural Municipality of Keys is an agricultural community with strong origins in the Doukhobor and Ukrainian heritages. As such, hard work and evolution are the keys to maintaining the ever-changing agricultural industry. Along with the Organized Hamlet of Crystal Lake, there are many recreational areas within the municipality and therefore, maintaining a balance between the agricultural and recreational desires are a delicate stance.

### 2.2 SIGNIFICANT CONCERNS RELATED TO PLANNING

Like many other rural areas of the province, the RM has planning concerns relating to:

- a) Due to the ever-increasing size and weight of equipment, maintaining the network of roadways while continuing to support and accommodate the transportation of agricultural products out of the RM has become a challenge.
- b) Continuing to support local agricultural operators and maintaining a thriving agricultural sector in a changing industry: farming operations are increasing in size, resulting in fewer farms and a declining permanent population.
- c) Balancing agricultural and non-agricultural land uses. The majority of the RM is under agricultural production. However, the lakeshore development area is an important and valued component of the municipality. Considering the interests and meeting the needs of the differing land uses is a priority.

### 2.3 COMMUNITY GOALS

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#### 2.3.1 CONTINUED AGRICULTURAL DEVELOPMENT

Ensure agriculture, and the rural way of life, remain prominent in the RM while allowing the establishment and expansion of additional types of development, in order to diversify and strengthen the local economy.

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#### 2.3.2 HIGH QUALITY OF LIFE

Ensure all planning decisions and new development contribute to, and enhance, the quality of life for residents from all walks of life.

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#### 2.3.3 ECONOMIC DIVERSITY

Accommodate commercial and industrial businesses that are beneficial and well-suited to the RM, while minimizing conflicts with other land uses.

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#### 2.3.4 SERVICING CAPACITY

Coordinate with government agencies and neighbouring jurisdictions when planning transportation and public utilities in order to increase long-term efficiency and connectivity. Explore opportunities to maintain and improve the transportation network, utilize sustainable practices, and focus on providing efficient services to residents.

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#### 2.3.5 CULTURE AND HERITAGE

Promote and preserve the cultural and heritage values of the region.

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#### 2.3.6 ENVIRONMENTAL STEWARDSHIP

Encourage environmentally responsible development practices, which minimize environmental disruption and pollution. Preserve and protect significant environmental features and areas of critical habitat.

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#### 2.3.7 LONG-TERM SUSTAINABLE GROWTH

Make responsible decisions within the parameters of fiscal responsibility, which will provide long-term benefits to the municipality.

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#### 2.3.8 PUBLIC PARTICIPATION

Include residents in development decisions by informing the public and providing a forum for feedback, in accordance with provincial legislation.

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#### 2.3.9 PUBLIC SAFETY

Current rules and regulations relating to public health and safety shall guide all new development in the RM. Proposals which may pose detriment or harm to the health, safety, or general well-being of the community will be denied.

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#### 2.3.10 INTER-JURISDICTIONAL COOPERATION

Encourage a healthy and diverse community by sharing resources, and working cooperatively with adjacent municipalities, government agencies, First Nations, and Métis communities.

### 3 POLICIES FOR LAND USE AND DEVELOPMENT

#### 3.1 GENERAL DEVELOPMENT POLICIES

- a) When reviewing applications for new development, consideration shall be given to the proposal's conformity with this Plan and the related Zoning Bylaw.
- b) New development shall be encouraged to establish in areas of existing services or where the construction of new services would be convenient and cost-effective.
- c) The RM will provide for a mix and range of development including agriculture, commercial, residential, and seasonal recreation in order to promote economic diversity and meet the needs of the community. Rural areas will be differentiated from urban areas by lower density development and larger land parcels, which can support agricultural and resource development activities.
- d) Development shall complement the natural environment. Development that may result in significant pollution, contamination, or the destruction of significant landscapes and habitat will be avoided.
- e) Large-scale multi-parcel development shall be guided by concept plans as described in Section 2.20 of the Zoning Bylaw.
- f) Future development proposals will be evaluated based on the need for the development, servicing capacity, compatibility with neighbouring land uses, and site suitability.
- g) Council will require the applicant to provide the Municipality with all the information needed to assess the following applications:
  - i. Amendments to the Official Community Plan;
  - ii. Amendments to the Zoning Bylaw;
  - iii. Subdivision applications; and
  - iv. Development permit applications.

#### 3.2 MUNICIPAL SERVICES AND COMMUNITY FACILITIES

##### 3.2.1 OBJECTIVES

- a) Encourage growth in locations where the long-term maintenance of infrastructure would be sustainable and economical.
- b) Where applicable and in the interest of the Municipality, improve the capacity and cost-efficiency of services and facilities by coordinating with neighbouring jurisdictions.
- c) Provide and maintain an appropriate standard of roads, utilities, parks, and other services and ensure new development supports the cost of new services.

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## 3.2.2 POLICIES

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### 3.2.2.1 ROADS AND TRANSPORTATION

- a) All new development requires direct access to a developed public road.
- b) Where possible, the RM will coordinate new or expanded transportation networks with those of neighbouring communities in order to improve connectivity.
- c) Service roads and internal subdivision roads may be required in order to reduce the number of approaches from highways and primary grid roads. These access roads should be designed with the consideration for emergency service, school bus, and maintenance equipment access.
- d) Development proposals adjacent to provincial highways will be referred to the Ministry of Highways and Infrastructure for review and comment.
- e) The RM will ensure the future acquisition of land for highway rights-of-ways is protected by supporting the dedication of land during the subdivision process.

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### 3.2.2.2 PUBLIC WORKS AND UTILITIES

- a) Where pipelines, utility lines, or other distribution facilities cross municipal roads, the Municipality may apply construction standards to ensure public safety and protect the integrity of the road.
- b) Cooperation will be encouraged with SaskPower, SaskEnergy, TransGas, SaskTel, and other utility companies to ensure the provision of services is economical and efficient. Utility companies are encouraged to consult with the Municipality prior to the installation of major utility systems.
- c) Development shall not adversely affect source water or the water supply of neighbouring developments.
- d) Contaminated or hazardous waste must be disposed of in compliance with all provincial and municipal regulations.
- e) The Municipality will maintain an updated asset plan, or inventory of services, to help ensure servicing capacity meets the needs of the community and will support future growth.
- f) Every development, or land use, which requires a water supply and/or wastewater disposal, is subject to the following:
  - i. The installation, maintenance, operation, and disposal of private onsite wastewater disposal systems shall be the responsibility of the landowner. All onsite systems and the location of final disposal require approval from the Water Security Agency and/or the Saskatchewan Health Authority.
  - ii. The installation, maintenance, operation, and disposal of private onsite water supply systems shall be the responsibility of the landowner. All onsite systems require approval from the Water Security Agency and/or the Saskatchewan Health Authority.

- iii. Where a lot, or development, is connected to the Organized Hamlet of Crystal Lake's municipal water supply system, the landowner shall be responsible for maintaining the portion of the line within the parcel boundaries. The portion of the line beyond the parcel boundaries shall be maintained by the Municipality.
  - a. If a new development results in the need for upgrades, expansions, or extensions to the municipal water system, the developer may be responsible for the costs associated with the infrastructure.

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### 3.2.2.3 AGREEMENTS

- a) Where a new subdivision will require the installation or improvement of municipal services, the developer may be required to enter into a servicing agreement with the Municipality pursuant to the PDA to cover the installation or improvements.
- b) Council is authorized to adopt a development levy bylaw, pursuant to the PDA. The development levy bylaw shall be based on a professional study and would establish development levies to recover the capital costs of services and facilities.
- c) Where a development, that does not involve a subdivision, will require the installation or improvement of municipal services, the developer may be required to enter into a development levy agreement with the Municipality pursuant to the PDA to cover the installation or improvements.
- d) Where a new subdivision or development requires the installation of new services such as roads, sewer and/or waterlines, etc. building permits may be withheld until those services have been completed to the satisfaction of Council.

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### 3.2.2.4 DEDICATED LANDS

- a) Except for new subdivisions in the Hamlet of Crystal Lake, money in lieu of municipal reserve land will be preferred unless the dedication of land is needed for the development of community recreational facilities or school purposes.
- b) The dedication of environmental reserve will be recommended during a subdivision that involves land that is environmentally sensitive or, which presents environmental constraints.
- c) The dedicated lands account funds may be used for the development of municipal reserve, environmental reserve, or public reserve, either within the municipality or in urban areas where the development will serve the residents of the RM.
- d) School Sites:
  - i. The RM recognizes the importance of providing sites for schools and educational purposes. At the time this Bylaw was approved, the need for a future school site within the municipal boundaries was not identified.
  - ii. If, in the future, the need for a new school site is identified, the Municipality will work with the Ministry of Education and the School Division to ensure the creation of a site suitable for that purpose, and amend the Bylaws accordingly.

- iii. If the need for a school site, is identified in a neighbouring municipality and that school site will accommodate students from the RM, Council will contribute funds from the dedicated lands account for the acquisition of that site.
- iv. If the need for a new school site is identified for the municipality or the region, and dedicated lands will be used for school purposes, the Municipality will consult with the Ministry of Education and the School Division early in the process to identify a suitable location.

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### 3.2.2.5 PUBLIC SAFETY

- a) Council will develop and maintain updated emergency response plans, which will reflect changes in land use patterns and activities. Emergency response plan(s) should be coordinated with provincial and/or federal policies for safety and should be supportive of neighbouring jurisdictions.
- b) Separation distances from existing or planned public works facilities, pipelines, and other distribution lines shall be as stated in the Zoning Bylaw and shall conform to provincial and industry standards.
- c) The expansion of operations or developments shall not encroach onto land used or planned for solid or liquid waste management facilities, airstrips, transportation corridors, industrial activities, or the required separation areas.
- d) Where possible, the RM will partner with surrounding jurisdictions to best provide emergency response coverage in the region. The objective of partnerships will be to work towards a regional emergency response plan that will be mutually supportive and minimize the duplication of services.

## 3.3 LAND MANAGEMENT

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### 3.3.1 OBJECTIVES

- a) Encourage development practices that can be sustained without significant pollution, nuisance, damage to the environment, or depletion of natural resources.
- b) Identify or acknowledge areas that are potentially hazardous, or where special land considerations exist, and restrict development in these areas. Such conditions may include, but are not limited to, slope instability, erosion, flooding, slumping, or other environmental hazards.
- c) Protect ground and surface water resources, areas of critical habitat, and environmentally sensitive land.
- d) Cooperate with municipal, provincial, and federal governments, First Nations and Metis communities, environmental organizations, and property owners to promote the safe, and environmentally responsible use of land.
- e) Extend the responsibility for sound environmental management to developers and property owners.
- f) Ensure all relevant environmental information is provided as part of development applications.

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### 3.3.2 POLICIES

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#### 3.3.2.1 CONSERVATION, WILDLIFE HABITAT, AND THE ENVIRONMENT

- a) Council will support farming practices, developments, and land uses that maintain soil quality, conserve moisture, and protect water supplies. Council will deny a permit for a development that could significantly deteriorate environmental resources or deplete or pollute water resources.
- b) Council will work with the provincial government to protect any environmentally sensitive lands, significant natural features, critical wildlife habitat, conservation easements, wildlife corridors, grazing co-ops, and rare or endangered species. Where significant potential for adverse impacts has been identified, Council may withhold a development permit until comments have been obtained from the relevant provincial or federal agencies.
- c) Service and utility maintenance that is not environmentally sustainable, such as applying used oil to municipal roads, will not be an acceptable practice.
- d) During the subdivision process, and in consultation with the appropriate federal or provincial agents, Council may recommend areas of critical habitat or sensitive environments as environmental reserve.
- e) To the extent possible, new roads and utility corridors will be directed to areas of existing development and previously disturbed lands.

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#### 3.3.2.2 FLOODING, SLUMPING AND SLOPE INSTABILITY

- a) Hazard land includes areas known, or with the potential, to be prone to:
  - i. flooding;
  - ii. poor drainage;
  - iii. slope instability
  - iv. erosion; or
  - v. similar constraints.
- b) Areas that are potentially hazardous are identified as Environmentally Sensitive/Potentially Hazardous on the Development Opportunities and Constraints Map and the Zoning Map or are shown on the Zoning Map to be in proximity to a water body or watercourse. Council may also consider local knowledge and historical records when identifying the potential for natural hazards.
- c) Where development is proposed on land identified as potentially hazardous, a professional report or site assessment about the impacts of the potential hazards on the proposed development will be required, at the developer's expense. The site assessment shall determine if the development is located in the floodway or flood fringe, assess the geotechnical suitability of the site, determine other environmental hazard(s), identify suitable building sites, and determine appropriate mitigation measures. These measures may be attached as a condition of development permit approval.

- d) The RM will prohibit the development of new buildings and additions to buildings in the flood way of the 1:500-year flood elevation of any watercourse or water body.
- e) The RM will require flood-proofing of new buildings and additions to buildings to an elevation of 0.5 metres above the 1:500-year flood elevation of any watercourse or water in the flood fringe.
- f) The Water Security Agency, or other appropriate consultants, may be used as a source of technical advice regarding flood levels and flood proofing techniques. Development proposals may be referred to the Water Security Agency for review prior to approval.
- g) Development shall be avoided where the risk of erosion or slope failure exists or where there is a potential for erosion or slope instability on the site. New development shall not be permitted on any potentially unstable slope area without the required professional report and mitigation measures specific to the site.
- h) Existing trees and vegetative cover shall be preserved, where appropriate, to reduce the potential for erosion and maintain bank stability. Activities which alter slopes and may accelerate or promote erosion or bank instability shall be prohibited unless appropriate mitigation measures are taken to minimize the potential for such erosion or bank instability.

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#### 3.3.2.3 SURFACE AND GROUNDWATER PROTECTION

- a) The RM will consider the potential and cumulative impacts of a proposed development on water bodies, waterways, and shore lands. Where appropriate, applications will be referred to the applicable agencies and departments for review and comment.
- b) To ensure surface and groundwater resources are protected from depletion or contamination, the RM may require reports or assessments from qualified professionals. Such reports should assess the potential impacts of the proposed development on aquifers and surface water (water supply, contamination, adjacent water users, etc.) and should include recommended mitigation measures or development standards.
- c) Council will work with the appropriate provincial and federal agencies to maintain the quality and quantity of water resources.

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#### 3.3.2.4 DRAINAGE

- a) To avoid flooding, erosion, and pollution, adequate surface water drainage will be required on all sites. This may require the construction and use of onsite water retention ponds. A professional drainage and grading report may be required where an area has, or exhibits, the potential for poor drainage.
- b) Unauthorized drainage of surface water from any land in the RM shall be prohibited. Watercourses shall not be altered without the prior approval of the Water Security Agency, the RM Council, or any other applicable provincial or federal agency. Drainage works require approval from the Water Security Agency prior to construction.
- c) Developments shall not obstruct, increase, or otherwise adversely alter water quality, volume of flow or velocity of flow.
- d) To the extent possible, and where applicable, new developments shall:

- i. Maintain existing water courses and wetlands;
  - ii. Integrate storm water management systems with natural water courses;
  - iii. Integrate natural, open space and recreational areas as habitat corridors; and
  - iv. Preserve existing trees and other natural features.
- e) Water courses shall be managed as follows:
- i. Natural vegetation shall be preserved to prevent bank erosion;
  - ii. Unauthorized dredging or filling of watercourses shall be prohibited;
  - iii. Periodic clearing of man-made drains shall be encouraged;
  - iv. Channel improvements shall be carefully designed and constructed, engineered designs or reports may be required;
  - v. Water control structures shall be designed to a 1:500 flood design, or other standard approved by Council and the Water Security Agency; and
  - vi. Proposals adjacent to watercourses shall be developed in such a way as to retain onsite drainage, minimize erosion and optimize water quality.

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#### 3.3.2.5 VEGETATION AND SOIL DISRUPTION

- a) To the extent possible, new development shall maintain existing trees, vegetation and unique flora.
- b) The planting of protective vegetation and shelterbelts shall be encouraged in conjunction with new developments. Where appropriate, Council may require protective measures to be included as part of a development proposal application.
- c) Development practices shall minimize soil erosion and topsoil disruption in order to avoid pollution, slope instability, silting, water contamination, and the alteration of surface drainage and ground water.

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#### 3.3.2.6 WILDFIRE

- a) Where necessary, development proposals shall include measures to mitigate the risk to human life and damage to property as a result of wildfires. The following fire protection policies will be included as part of a development review:
  - i. Development permit applications may be referred to the local fire marshal for comment prior to a decision being issued.
  - ii. Green space, or separation distances, may be used to separate buildings from trees and vegetation when necessary.
  - iii. Municipal roads shall be appropriately designed in order to provide adequate emergency vehicle access and egress.

## 3.4 AGRICULTURAL DEVELOPMENT

### 3.4.1 OBJECTIVES

- a) Protect and prioritize agricultural activities and the agricultural industry in the municipality. Support agricultural uses and agri-business in a manner that will not create conflicts with neighbouring uses, jeopardize development in future growth areas, or create significant environmental concerns.
- b) Provide for intensive forms of agriculture, including intensive livestock, on suitable sites and where water and waste management can be accommodated.
- c) Protect prime agricultural land from higher intensity development.
- d) Allow, on a limited basis, separate sites for the development of rural residential sites while avoiding disordered and fragmented land use patterns.

### 3.4.2 POLICIES

#### 3.4.2.1 GENERAL

- a) Agricultural activities on sites of a quarter section or more, for field crops, pasture, and non-intensive livestock operations will not be restricted.
- b) In addition to agricultural production, Council will encourage a range of uses intended to support the agricultural sector, in order to promote a strong and diverse agricultural industry.
- c) Innovative agricultural practices, which maximize sustainability and reduce long-term adverse impacts to the environment, will be supported.
- d) Intensification and expansion of agricultural activities shall be planned and sited in a manner that requires minimal improvements to municipal servicing.
- e) Unnecessary fragmentation of prime agricultural land will be avoided by limiting the number and area of non-agricultural subdivisions per quarter section in the Agricultural Resource District. Subject to land use compatibility, non-agricultural developments may be encouraged to cluster.
- f) Crop spraying, pasturing of livestock, intensive agricultural production, and manure spreading are considered acceptable and necessary agricultural activities. Such activities should only be limited for reasons of environmental protection, preservation of habitat and public health and safety.
- g) Where the necessary services are available, smaller agricultural sites may be considered to accommodate the development of small-scale or specialized farming practices.
- h) Rural and agricultural tourism will be supported at appropriate locations and where the required services are accessible.

#### 3.4.2.2 INTENSIVE LIVESTOCK OPERATIONS (ILO)

- a) Council will support the development of ILOs, unless specific land use, environmental, or locational conflicts would be created.

- b) The RM may require screening and separation, or encourage the use of innovative technologies, to mitigate odour and other nuisances.
- c) ILOs shall locate where there is an adequate area of land to support the number of animal units, accommodate manure management, meet required separation distances, and allow for potential future expansions.
- d) Council will encourage the operator of an ILO to apply environmentally responsible land management practices.
- e) ILOs must be carried out in a manner that reduces the production of odour and the potential for pollution to soil and water.
- f) The application, operation, and monitoring of ILOs will be carried out in consultation with the Ministry of Agriculture, the Water Security Agency, and any other applicable provincial agencies.
- g) Proponents of an application for an ILO will be encouraged to host a public meeting or consultation session, separate from the municipal public hearing, early in the application process. Consultation should include a representative of the ILO and shall be at the developer's own cost.
- h) The separation distances required in the Zoning Bylaw may be contingent upon the number and density of animal units and the compatibility with, and proximity to, neighbouring land uses.

## 3.5 RESIDENTIAL DEVELOPMENT

### 3.5.1 OBJECTIVES

- a) Accommodate farm, farm-related, and non-farm residential development in suitable areas at densities that will complement or enhance the agricultural character and function of the municipality.
- b) Optimize the use and long-term maintenance of services and infrastructure.
- c) Minimize the potential for conflict between residential development and non-residential uses.
- d) Ensure residential sites have adequate access and suitable services.
- e) Encourage medium density residential subdivisions in areas where appropriate servicing can be provided.

### 3.5.2 POLICIES

#### 3.5.2.1 GENERAL

- a) New residential subdivisions shall be serviced to meet municipal standards. If a proposed development is not in proximity to existing services, new services may be installed to accommodate the proposal, at the cost of the developer. Any new, upgraded or extended services will be addressed in a servicing agreement or development agreement.
- b) The water supply and method of sewage disposal for residential sites must meet all requirements of the Water Security Agency and/or the Saskatchewan Health Authority and the Municipality. The cost of installing such services will be responsibility of the developer.

- c) The maintenance and operation of private onsite water and wastewater systems shall be the responsibility of the landowner.
- d) In order to maximize the use of infrastructure and prevent fragmentation, the RM will support clustered country residential development by encouraging multi-parcel subdivisions to locate adjacent to one another or adjacent to areas of existing development.
- e) As per the zoning regulations, separation distances will be required between residences and an ILO, a solid or liquid waste disposal facility, an oil, gas, or aggregate operation, or other incompatible use.
- f) A drainage and grading plan may be required for future development to ensure adequate drainage of the development site. Drainage design shall also protect neighbouring sites and infrastructure from potential adverse effects of runoff.

### 3.5.2.2 COUNTRY RESIDENTIAL

- a) Council will consider applications for low to medium density country residential development if there is suitable access and the appropriate water supply and wastewater disposal systems can be provided.
- b) New clusters of residential development will only be allowed if they front on an all-weather, paved or gravel municipal road. New or upgraded roads and services shall be constructed at the cost of the developer and addressed in a servicing agreement.
- c) Multi-parcel country residential subdivisions shall be directed to the area(s) designated on the Future Land Use Map.
- d) Where applicable, development of multi-parcel country residential subdivisions shall:
  - i. Maintain and protect existing watercourses, wetlands, integrate storm water management systems with natural water courses;
  - ii. Preserve existing trees and other natural features;
  - iii. Avoid the need for fill or excavation; and
  - iv. Avoid including areas of natural or human-induced hazards.

## 3.6 BUSINESS AND ECONOMIC DEVELOPMENT

### 3.6.1 OBJECTIVES

- a) Diversify the local economy by encouraging a variety of business development opportunities including commercial, industrial, and natural resource-related development.
- b) Ensure new businesses are developed in a manner that minimizes negative impacts on the environment and surrounding land uses.
- c) Ensure all business developments are adequately serviced to meet the needs of the operation and municipal standards.
- d) Increase the establishment of highway commercial operations, which cater to the traveling public.

- e) Light or small-scale manufacturing, which serves the needs of the local population, will be accommodated on suitable sites and in suitable locations.
- f) Provide for farm and home-based businesses to accommodate a range of employment options.
- g) Encourage mineral and aggregate resource development where disruption to the environment, cultural and heritage resources, and the community can be minimized or eliminated.
- h) Identify land with the potential for natural resource development and protect these lands from incompatible land uses.
- i) Ensure the exploration and development of mineral and aggregate resources are conducted in a manner that reduces impacts to cultural and heritage resources, the environment and the community.

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## 3.6.2 POLICIES

### 3.6.2.1 GENERAL

- a) All business development shall have adequate services, including all-weather roads, safe access, and utilities that meet municipal standards. Council will encourage new proposals to locate in areas of existing infrastructure. Businesses with high volumes of expected traffic, or which require the use of heavy vehicles and machinery, may be required to locate in proximity to provincial highways.
- b) Large-scale commercial and industrial uses may be accommodated, provided their function is related to agricultural or natural resource industries, and provided they do not conflict with surrounding land uses.
- c) The RM may require screening, landscaping, or buffering to separate commercial and industrial businesses from neighbouring residential uses.
- d) The functional integrity of the highways will be maintained through the use of service roads, internal subdivision roads, or controlled highway access points, subject to approval from the Ministry of Highways and Infrastructure.
- e) Land adjacent to Provincial Highway Nos. 9 and 49 will function as the primary commercial and industrial areas. Smaller services and amenities may be directed to lakeshore development and service areas.
- f) Phasing may be required for large-scale, or multi-parcel, development. Where phasing is required, the proponent may be required to provide a concept plan, as described in 2.20 of the Zoning Bylaw.
- g) Proposals for new commercial, industrial, or natural resource development will be evaluated based on:
  - i. The compatibility of the proposed business use with existing or planned neighbouring land uses. Council shall consider the potential for noise, traffic, dust, odour, smoke, environmental contamination, and unsightliness. Use(s) that would likely impact the health, safety, and enjoyment of neighbouring uses will be directed to more suitable locations within the municipality.

- ii. The availability and capacity of the infrastructure services needed to support the proposed development. The installation of any new or expanded services shall be addressed in a servicing agreement.
- iii. Council may require any site or building design, construction, or development standards deemed necessary to enhance the development and reduce adverse impacts to the environment and community.
- iv. Suitable site grading and drainage, including the provision of onsite storm water retention and management.

---

### 3.6.2.2 HOME-BASED BUSINESS AND HOME OCCUPATIONS

- a) Home-based businesses and home offices may be accommodated provided that they are clearly secondary to the principal residential use of the site and are compatible with, and do not detract from, the character of the surrounding area.

---

### 3.6.2.3 MINERAL RESOURCE AND AGGREGATE DEVELOPMENT

- a) Mineral resource development shall include exploration, extraction, and the primary processing of oil, gas, potash, and other mineral resources, excluding sand and gravel.
- b) Aggregate resource development shall include the exploration, extraction, and light processing of sand and gravel.
- c) The exploration, development, production, and cessation of all mineral and aggregate resource development shall be implemented in a manner, which is environmentally sound and minimizes nuisance to adjacent development.
- d) Proposals for exploration or development in proximity to surface or groundwater supplies, in areas of critical habitat, on heritage sensitive land, or in other environmentally sensitive areas will be subject to prior review by the Saskatchewan Ministry of Environment, the Water Security Agency, and/or the Heritage Conservation Branch to ensure the development meets the respective provincial legislation.
  - i. The Zoning District Map and the Opportunities and Constraints Map may be used to identify areas of potential sensitivity.
  - ii. Qualified professionals may also be consulted to ensure the site is suitable for the proposed development.
- e) The approval of a mineral or aggregate resource development will be based on the regulations in the Zoning Bylaw, compatibility with existing and planned land uses, the potential for disturbance to the water resources and sensitive environments, impacts on cultural and heritage resources, and the impact on municipal services and infrastructure.
- f) Areas with the potential for resource development, or expansion of existing operations, will be limited to non-intensive agriculture or temporary land uses that would not prohibit or hinder a future resource development or expansion.

- g) Separation distances, buffers, screening, and landscaping may be used to prevent disturbance to the community.
- h) Applications for sand, gravel, and mineral exploration, development and extraction, and operation must be accompanied by a reclamation plan.
- i) Council may require a performance bond for sand, gravel, and mineral exploration development to ensure remediation of the site.

## 3.7 LAKESHORE DEVELOPMENT

### 3.7.1 OBJECTIVES

- a) Accommodate lakeshore development that is safe, environmentally responsible, and aesthetically pleasing.
- b) Minimize the potential for conflict between lakeshore development and agricultural activities.
- c) Ensure lakeshore development is provided with a suitable level and standard of infrastructure services. Optimize the long-term use and maintenance of community facilities and infrastructure services.
- d) Restrict development on environmentally sensitive land and land with the potential for flooding, slope instability, and other natural hazards. Minimize the risks of flooding, erosion, instability and other physical hazards through development controls.
- e) Ensure public access to beaches, shorelines, waterbodies, and other recreational areas.
- f) Prevent overcrowding and overdevelopment of lakeshore development areas.
- g) Ensure future development surrounding the Lakeshore Development District does not have a negative impact on the water quality, environmental resources and sensitive areas.
- h) Preserve fish and wildlife areas; restore natural areas and prevent further deterioration of the natural ecosystem.
- i) Extend the responsibility of environmental management to property owners and developers and enhance communication between the municipality, cottages, and other landowners around the lake.

### 3.7.2 POLICIES

#### 3.7.2.1 GENERAL

- a) To ensure new developments are well-planned, Council will review proposals with regard to the following criteria:
  - i. The need for new residential lots (existence of vacant lots that could be developed).
  - ii. The capacity and availability of municipal services.
  - iii. The potential for the development to impact water resources and wildlife habitat.
  - iv. Adequate recreational uses and facilities to support the additional development. This may include public beaches, parking, boat launches, and other similar uses.

- b) To the extent possible, and to optimize the use of existing infrastructure, new subdivisions shall be located in areas of existing services, or where services could be extended with minimal environmental impacts.
- c) In order to conserve agricultural land and reduce servicing costs, the RM will support clustered development by encouraging subdivisions to locate adjacent to existing developments.
- d) A treed, or landscaped, buffer area may be required as part of new lakeshore subdivisions to separate lakeshore development from agricultural activities.
- e) To ensure future development aligns with provincial interests, the RM will seek comments from the Water Security Agency, the Heritage Conservation Branch, or other provincial agencies, regarding proposed development surrounding Crystal Lake, the Assiniboine River, and the Whitesand River. Where applicable, feedback from the Province will be required prior to issuing a decision or recommendation.
- f) The primary land use of the Lakeshore Development District will be residential. Public recreation and small-scale commercial may be accommodated on a limited basis.
- g) Development proposals with the potential to negatively impact the water supply will be restricted. The developer may be required to demonstrate that the proposed development will not have adverse impacts on water quality or quantity.
- h) To ensure the protection of, and public access to, shorelines, all land within the bank of the lake will be recommended as environmental reserve during the subdivision process.
- i) To ensure adequate drainage, a drainage and grading plan may be required as part of a development application. The plan should demonstrate that the development site, neighbouring properties, and municipal land would not be adversely affected by runoff from the development.
- j) New commercial development in the Lakeshore Development District will be limited to developments that would enhance the quality of life within the lakeshore development areas.
- k) The water level and water quality in Crystal Lake shall be maintained, as prescribed by the Water Security Agency.
- l) The RM will continue to work with neighbouring municipalities, the Bands of affected First Nations Reserves, and key stakeholders to protect and preserve the quality, longevity, and enjoyment of lakeshore areas.
- m) Provincial Aquatic Habitat Protection Permits shall be required for any development or work in proximity to the lake.

#### 3.7.2.2 CONSERVATION AREAS

- a) New subdivisions in the Conservation Area District will be limited in accordance with the provisions of the zoning bylaw.
- b) Restrict future subdivisions in the conservation areas surrounding Crystal Lake.
- c) Future subdivisions in the Conservation District will only be supported by Council under the following conditions and for the following purposes:
  - i. Subdivision of an existing farmstead or residence; and

- ii. Subdivisions for a municipal use, public utility or public work, habitat and wildlife conservation areas, and the creation of buffer areas to reduce land use conflicts between the lakeshore development area and agricultural uses.

## 3.8 TOURISM, RECREATION, AND HERITAGE

### 3.8.1 OBJECTIVES

- a) Protect areas with heritage value and cultural significance.
- b) Encourage the sustainable development of new recreational areas while minimizing the costs to the Municipality.
- c) Provide opportunities for tourism and recreation for the region, while preserving sites of cultural and heritage significance.

### 3.8.2 POLICIES

#### 3.8.2.1 HERITAGE AND CULTURALLY SENSITIVE AREAS

- a) The RM will work with agencies of the provincial government to protect significant cultural and heritage resources and to ensure compliance with *The Heritage Property Act*. Where the potential to impact such resources has been identified, development will not be approved until such time as the requirements of the relevant provincial agencies have been obtained by Council.
- b) Where development is proposed on heritage sensitive land, the “Developers’ Online Screening Tool” for heritage sensitivity and the “Exempt Activities Checklist for Private Landowners”, both administered by the Heritage Conservation Branch of the Ministry of Parks, Culture and Sport, may be used to assess the need for further analysis. Applications may be referred to the Heritage Conservation Branch to assess the potential for heritage sensitivity.
- c) Sites and structures with heritage and cultural significance will be considered an asset to the community. The RM will encourage developers and landowners to operate and maintain cultural and heritage sites appropriately so as to avoid becoming derelict and deteriorated. Where considered appropriate, significant sites and structures may be designated as municipal heritage property.
- d) Proposals that involve the restoration and reuse of heritage properties will be supported. Council will also consider the protection of sites with historical or cultural significance to the community.
- e) Lands that are found to have dense deposits of artifacts or culturally significant resources will be protected from development that would negatively impact the resource.
- f) Where appropriate, federal, provincial, or other stewardship/interest groups may be consulted before Council finalizes a decision regarding a development permit or a recommendation for a subdivision application.
- g) As practicable the RM will work with neighbouring municipalities, appropriate interest groups, and residents to identify, and compile an inventory of, cultural and heritage resources in the municipality.

### 3.8.2.2 RECREATION

- a) Proposals for new recreational facilities and tourist destinations will be assessed based on physical access, available services, separation from incompatible land uses, existing and future resource development, and other factors that may render the development unsuitable for the area.
- b) The development of public open space, recreational facilities, and tourism will be promoted in areas with higher densities of residential development or where natural environmental features and cultural and heritage sites provide opportunities for tourism and recreation.
  - i. Passive recreational activities may locate in environmentally sensitive and heritage sensitive areas only to the extent that public safety will not be jeopardized and sensitive areas will not be negatively impacted. Consultation with the appropriate provincial or regulatory agencies may be required prior to approval from Council.
- c) Tourist accommodations, such as bed-and-breakfasts and vacation farms, which are ancillary to a residential or agricultural use, are acceptable secondary uses.
- d) Council will cooperate with other jurisdictions and private developers to encourage a diverse range of recreational opportunities and cultural and tourism facilities within the RM.
- e) The RM will support the development of regional open space, leisure and tourism opportunities for land that has been identified as being suitable for recreational developments.

## 4 FIRST NATIONS AND MÉTIS ENGAGEMENT, AND INTER-JURISDICTIONAL COOPERATION

### 4.1 OBJECTIVES

- a) Establish a process for engaging and consulting with neighbouring jurisdictions.
- b) Ensure consistent and compatible land uses across municipal boundaries.
- c) Optimize the use and cost-efficiency of infrastructure and community facilities within the region.
- d) Develop, strengthen, and maintain effective relationships with neighbouring communities for the benefit of residents in the region.

### 4.2 POLICIES

#### 4.2.1 FIRST NATIONS AND MÉTIS ENGAGEMENT

- a) Where there is a common interest in the use or development of land or other regional interests, Council will work with the Key First Nation, other surrounding First Nations, and Métis Locals to achieve shared goals. Council will encourage engagement and communication with local First Nations on local and regional planning initiatives.
- b) When a development proposal or planning decision may impact the activities of a nearby First Nation or Métis community, Council will ensure adequate consultation prior to finalizing a decision. Impact will be considered when a development is proposed on, or in proximity, to unoccupied Crown land or First Nation Reserve land.
- c) Development proposals on or adjacent to unoccupied Crown land may require additional consultation to prevent adverse impact on the activities of First Nations and Métis groups.
- d) Consultation shall involve information letters, phone calls, meetings, or other forms of engagement. The level of consultation will depend on the potential for impact.

#### 4.2.2 INTER-JURISDICTIONAL COOPERATION

- a) The RM will work with neighbouring municipalities to provide efficient and cost-effective infrastructure and service directory. The RM will also explore opportunities to develop joint service programs where such arrangements will be of benefit to the municipality and community.
- b) The RM will cooperate with neighbouring urban centres to ensure development will complement future urban growth. Where future development is proposed in proximity to urban municipalities, the RM will implement a coordinated approach for reviewing the development applications.
- c) Pursuant to Section 32.1(1) of the PDA, Council may enter into an inter-municipal development agreement with another municipality to address inter-jurisdictional issues.
- d) The RM will consult with provincial and federal government agencies and other communities and organizations to coordinate planning initiatives and growth with other jurisdiction.

- e) The RM will engage adjacent municipalities and neighbouring First Nations communities to ensure the regional community grows and advances in the most progressive way possible.
- f) Council shall cooperate with the provincial authorities to enforce fire safety, flood protection, environmental protection, and shore land pollution control regulations within the RM.

---

#### 4.2.3 BOUNDARY ALTERATION

- a) The periodic need for urban expansion may be addressed through the boundary alteration process. The process shall be logical, timely, and consistent with the policies of the Plan.
- b) When urban expansion is necessary, the design and development of the boundary alteration should be well-integrated with the existing community structure and shall be directed away from prime agricultural land and ILOs.

## 5 IMPLEMENTATION

### 5.1 ZONING BYLAW

The Zoning Bylaw will be the principal method of implementing the goals, objectives, and policies included in this Plan. The Zoning Bylaw will include the following zoning districts:

AR – Agricultural Resource District

CR – Country Residential District

CI – Commercial-Industrial District

LD – Lakeshore Development District

CA – Conservation Area District

### 5.2 AMENDMENTS

All amendments to the Zoning Bylaw must align with the policies and objections of this Plan. If there is a need to amend the Plan, Council must pass a bylaw to accept the amendment. Amendments may provide for changes to objectives, an increase in density, or other changes as accepted by Council.

### 5.3 OTHER IMPLEMENTATION TOOLS

#### 5.3.1 PROVINCIAL LAND USE POLICIES

- a) This Plan shall be administered and implemented in conformity with provincial legislation, policies, and regulations, and in cooperation with provincial agencies.
- b) Council will ensure this Plan and the accompanying zoning bylaw remain consistent with provincial land use policies.

#### 5.3.2 ADMINISTRATION

- a) This Plan is binding upon Council and all development within the RM.
- b) If any part of this Plan is declared to be invalid for any reason, by an authority of competent jurisdiction, that decision shall not affect the validity of the Plan as a whole, or any other part, section or provision of this Plan.

#### 5.3.3 DEFINITIONS

The definitions contained in the Zoning Bylaw shall apply to the Plan.

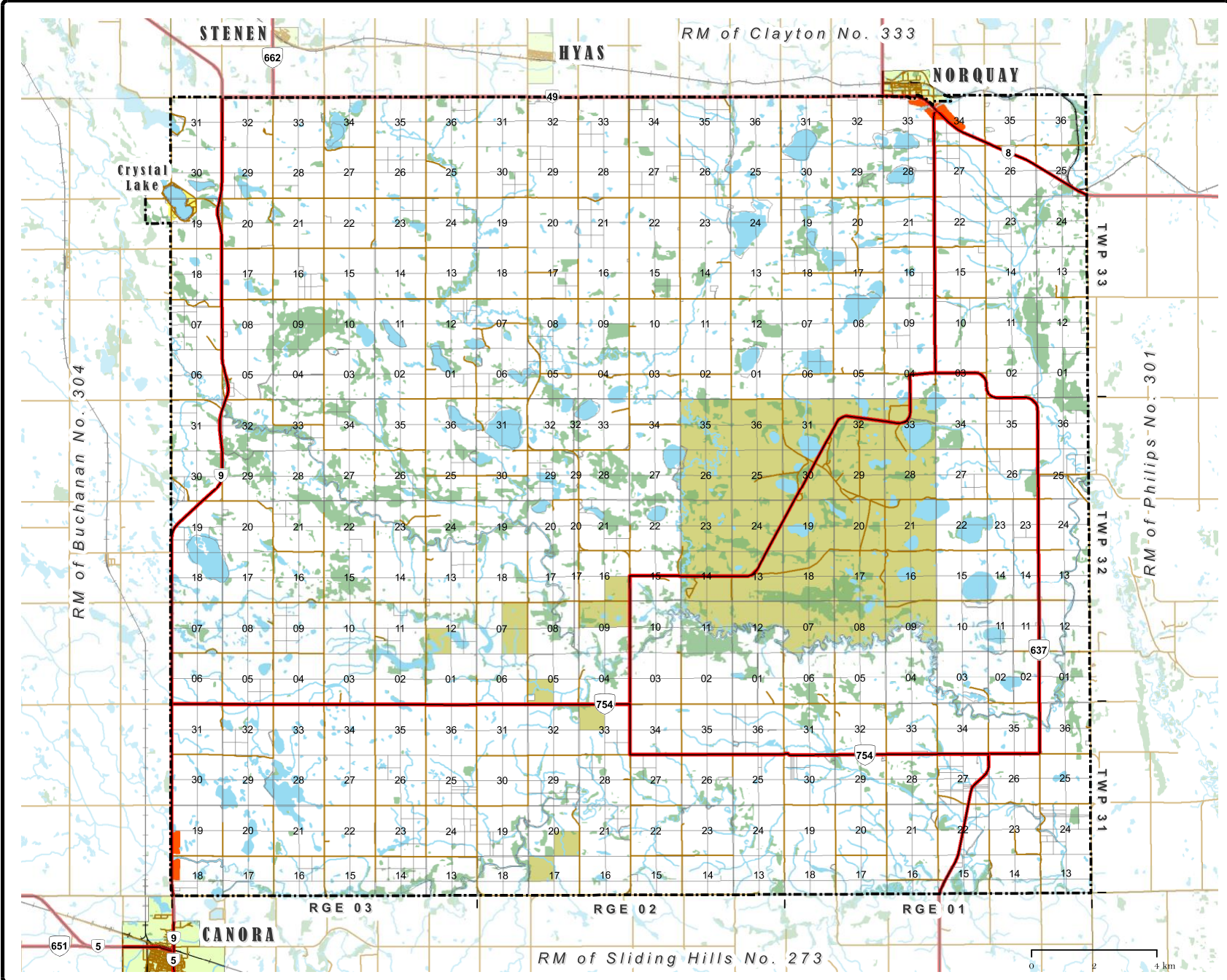
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#### 5.3.4 FUTURE LAND USE MAP

The Future Land Use Map illustrates the existing pattern of land use and developer and designates the location of future land use. The designation of land uses reflects potential future development in the RM and provides guidance for decision-making.

6 APPENDIX A – FUTURE LAND USE MAP

RM OF KEYS NO. 303 OFFICIAL COMMUNITY PLAN



RURAL MUNICIPALITY OF KEYS NO. 303

FUTURE LAND USE MAP

LEGEND

- Highway
  - Railway
  - Watercourse
  - Waterbody
  - Wooded Area
  - RM Boundary
- Future Land Use**
- Future Commercial/Industrial
  - Future Residential
  - First Nations Land

NAD 1983 CSRS98 UTM Extended Zone 15N  
Canadian Spatial Reference System (CSRS) 98



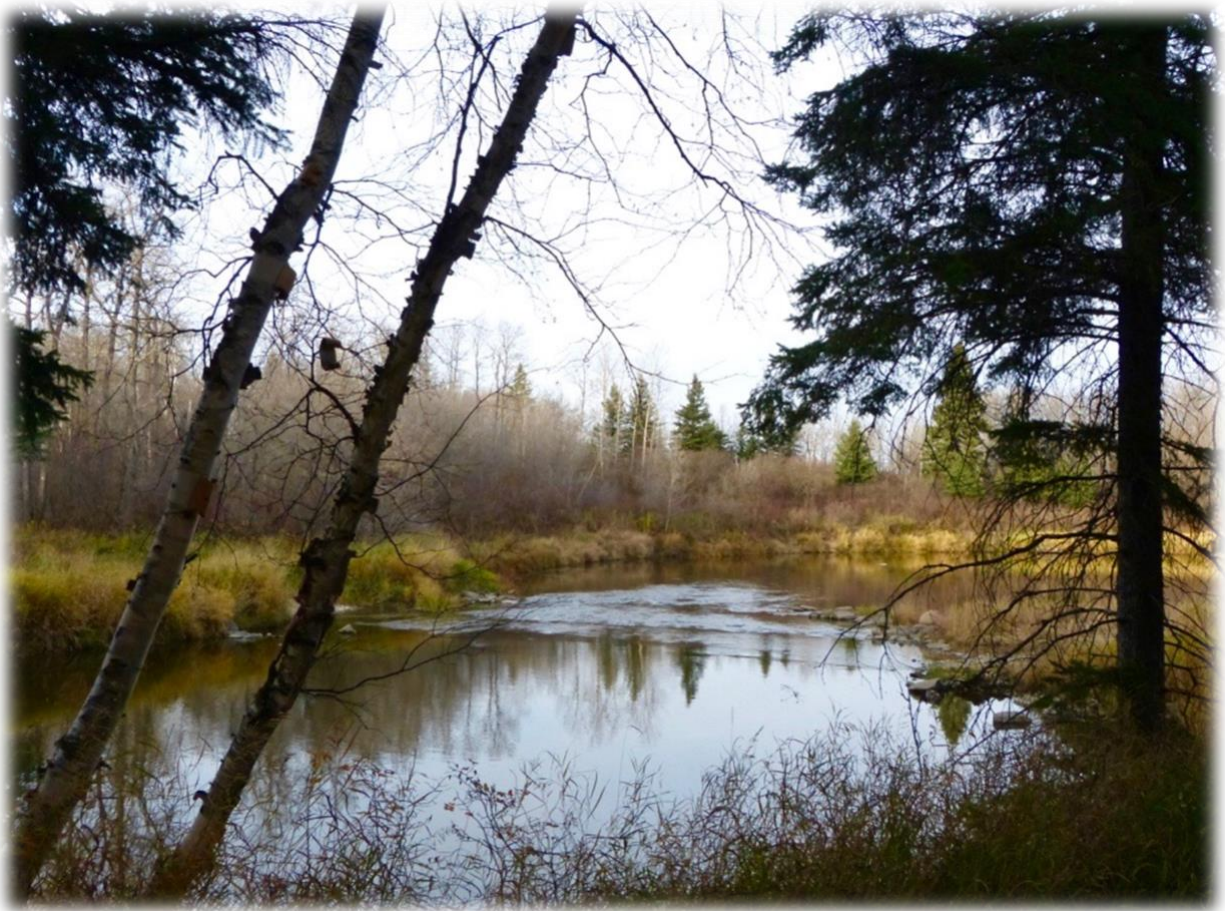
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203 Main Street  
Canora, Saskatchewan



7 APPENDIX B – MUNICIPAL PROFILE

# **RM OF KEYS NO. 303**

## **SASKATCHEWAN**



**Municipal Profile**

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## 1 PURPOSE

It is important for a municipality to understand community and regional characteristics in order to provide for the needs of current and future residents. Projected trends can also help municipal leaders anticipate and plan for future developments and growth in their community. It is important to recognize that analyzing these factors can help a council develop policies and regulations that appropriately and effectively plan for the future. This appendix provides a brief description of the municipal characteristics such as demographics, economic activity, heritage and environment.

## 2 LOCATION AND PHYSICAL SETTING

### 2.1 LOCATION

The RM of Keys No. 303 (RM) covers a land area of approximately 662 sq. km in the Parkland region of southeastern Saskatchewan. The RM is located approximately 50 km north of the City of Yorkton and is bordered by the Rural Municipalities of Clayton No. 333, St. Philips No. 301, Sliding Hills No. 273, and Buchanan No. 304.

There are no cities or towns within the RM. However, the Organized Hamlet of Crystal Lake is located in the northwest corner of the RM and is within the RM's jurisdiction. The Town of Norquay abuts the north-east boundary of the municipality, the Town of Canora abuts the southwest corner, and the Town of Kamsack is located to the southeast. The Villages of Stenen and Hyas are both located approximately 1.6 kms north of the northern boundary of the RM. These small urban centres provide the RM residents with convenient access to amenities and community facilities.

The Key First Nation Reserve is located within the RM boundaries. Cote and Keeseekoose First Nations also hold Treat Land Entitlement or Reserve land. A number of other Reserves are located in the surrounding rural municipalities.



**Figure 2-1**

Source: Google Maps, January, 2020

## 2.2 HISTORY

First Nations were present in the region for over 10,000 years. Metis people would also have had a strong presence, before and during the fur trade period. During this time, the rivers would have been used as important transportation routes. The region was later settled by European immigrants, especially those of Ukrainian and Doukhobor descent.

## 2.3 ENVIRONMENT

The RM is located in the Aspen Parkland Ecoregion of the Prairie Ecozone. This ecoregion represents the transition between the prairies and the boreal forest. The landscape is characterised by grasslands at the south and woodlands further north. Aspen groves are common around sloughs, in moist valleys, and in sandhill areas. The steep slopes, wetlands, rivers, and small lakes of the area are representative of glacial till landscapes. The vegetation combined with warm summers and cold winters provide an ideal habitat and climate for white-tailed deer, moose, skunk, porcupine, racoons, and bear.

The RM includes a number of water bodies, including Crystal Lake and Miracle Lake, which provide opportunities for outdoor recreation and resort development. The Whitesand and Assiniboine rivers and Stoney Creek travel through the RM.

# ECOREGIONS OF SASKATCHEWAN

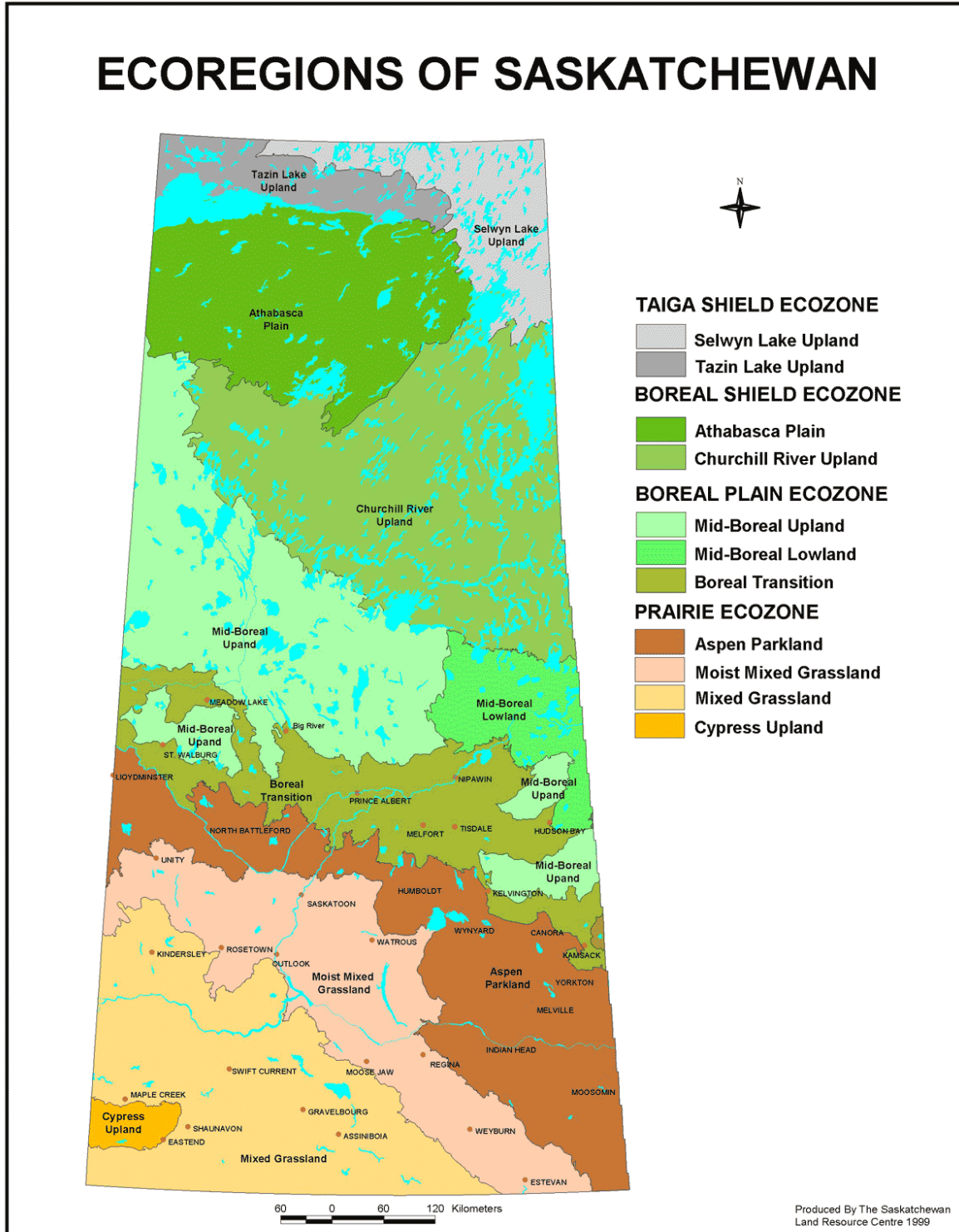


Figure 2-2

Source: Saskatchewan Conservation Data Centre, <http://www.biodiversity.sk.ca/eco.htm>, August 2019.

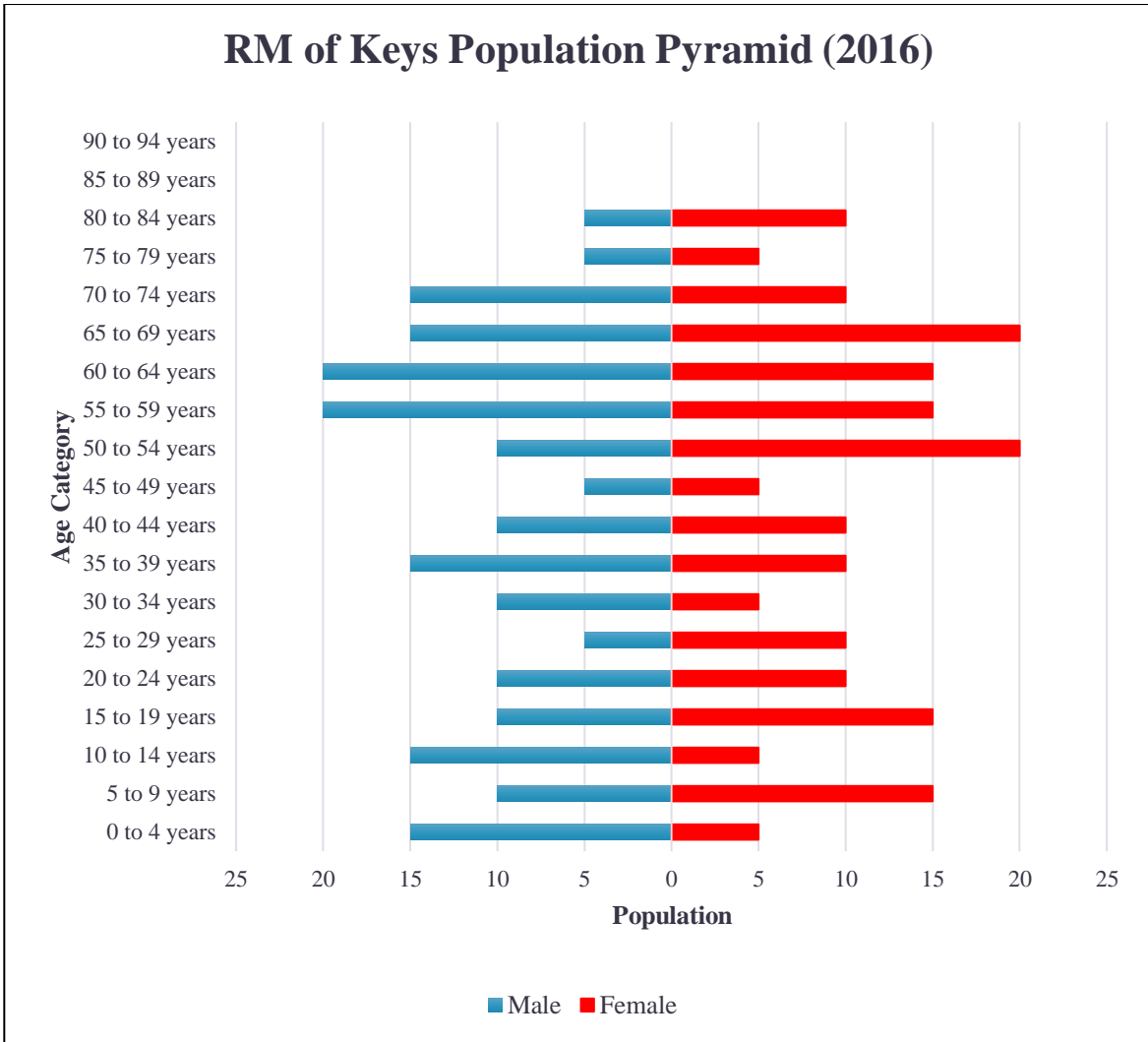
## 3 POPULATION

Population characteristics are an important consideration in the planning, design, and location of new and expanded infrastructure. Demographics are also an important factor in determining the need for housing. Age characteristics may impact the total number of dwelling units needed and the type of housing that is appropriate. The population characteristics outlined in the following subsections are based on data obtained from the Statistics Canada 2016 Census.

### 3.1 POPULATION COMPOSITION AND DENSITY

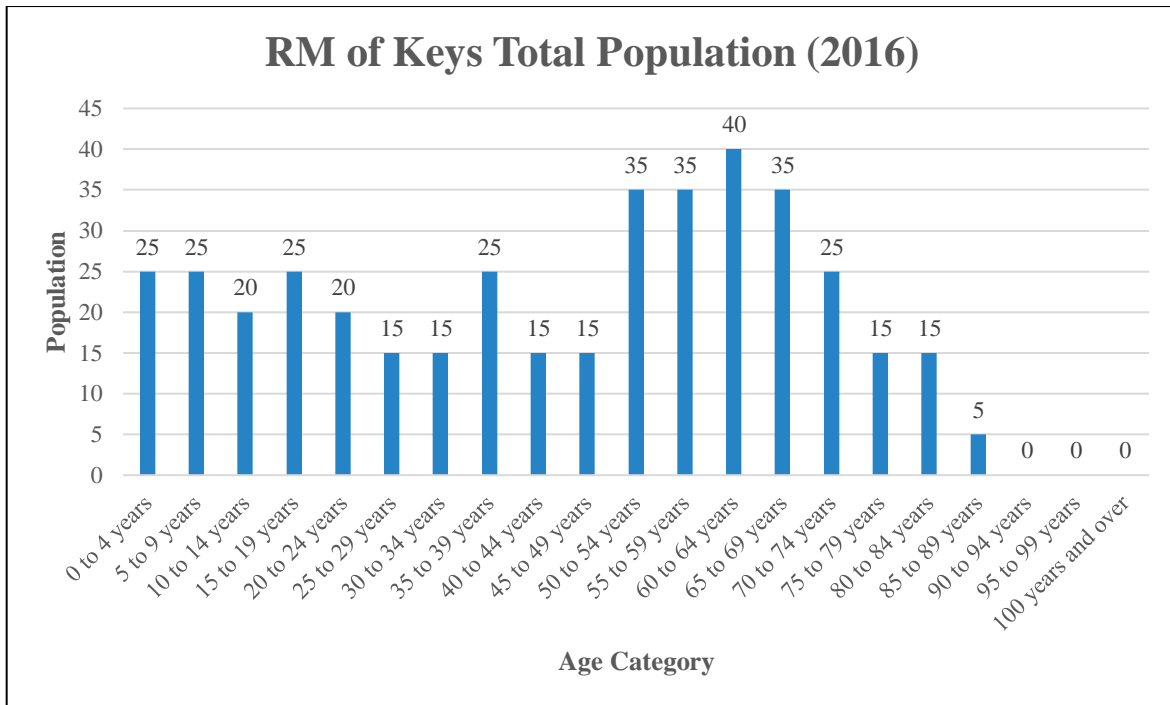
The RM has a permanent population of 420 residents; 329 of which reside in the agricultural areas of the RM, and 61 in the lakeshore development area. The total population represents a 6.5% decrease from the 2011 census. The decrease in population is consistent with many other rural municipalities in the province. However, the RM anticipates a slight increase in the population in the near future due to additional residential development.

The RM has a large population of people between the ages of 50-69 and a very low population of people between the ages of 25-34. This indicates that young people may be moving out of the RM, potentially in the pursuit of education, employment, and social opportunities. The RM may consider ways to increase the provision of these services in order to retain younger residents. As the 55-69 cohort matures, there will be a greater need for geriatric services not only in the region but in the province as whole. Figures 3-1 and 3-2 provide an overview of the RM's population.



**Figure 3-1**

Source: Statistics Canada 2016 Census



**Figure 3-2**

Source: Statistics Canada 2016 Census

The total land area of the RM is approximately 662 square kilometres which provides a population density less than one person (0.6) per square kilometre. This is important when considering bylaw enforcement, emergency response measures, transportation corridors and the provision of other municipal services.

### 3.2 POPULATION PROJECTIONS

Population projections involve using current and historical population data to forecast the future population of a community. It should be noted that for relatively small populations, external variables and errors in population counts can have a significant impact on the data and results. The projections calculated for this study may be further implicated by inconsistencies in data collection and unique migration patterns. The growth rate and ten and twenty-year population projections for the RM are shown in Table 3-3.

**Table 3-1**

Projections and Growth Rate	
10-year Projection	287.9
20-year Projection	196.9
Annual Growth Rate	-3.80%

### 3.3 HOUSEHOLD CHARACTERISTICS

Understanding household characteristics provides information about a community's need for employment, social programming, and community services. Using this information, councils can develop policies and regulations that will meet the needs of the residents.

There is a total of 160 private dwellings in the RM; 203 in the agricultural area and 238 in the lakeshore development area. The majority of adults in the RM are married, very few families, if any, have experienced divorce. The average household size is 2.4 people. Few, or none, of the homes are single-person households.

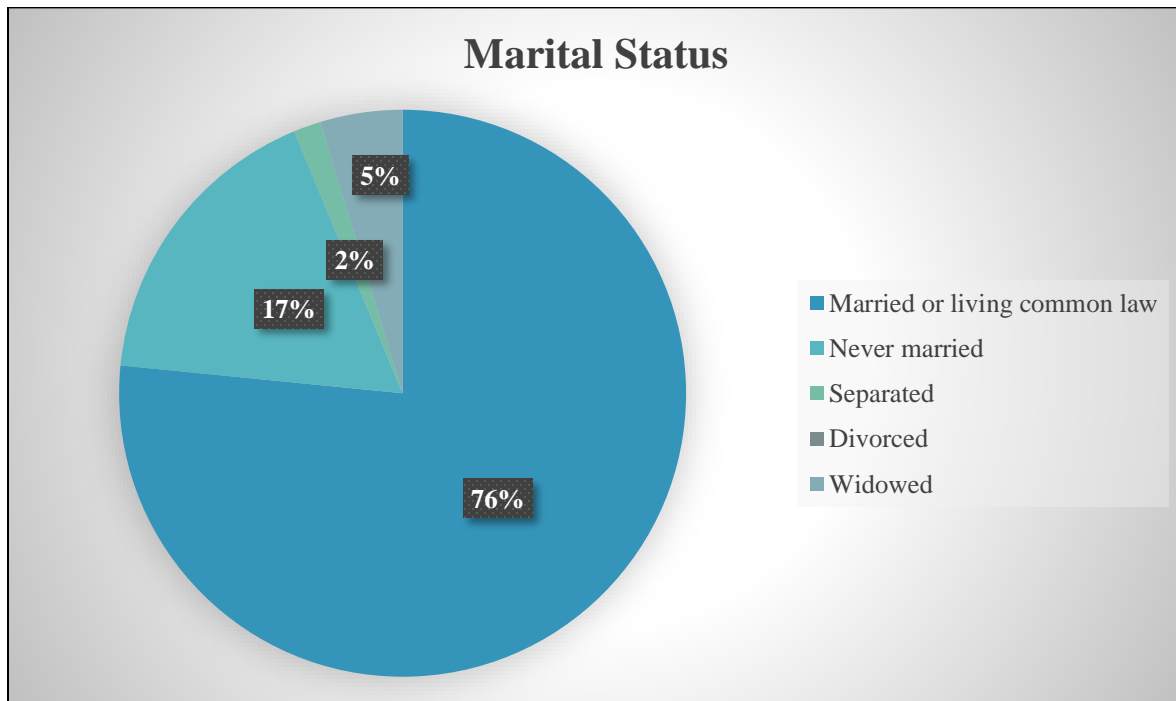
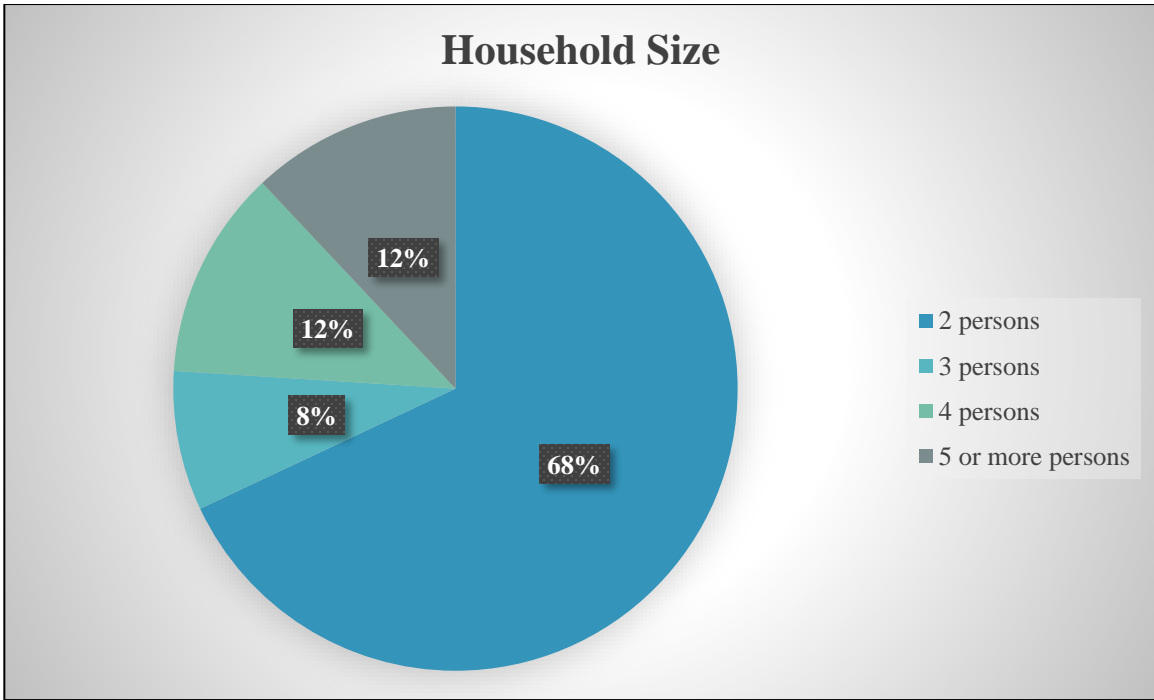
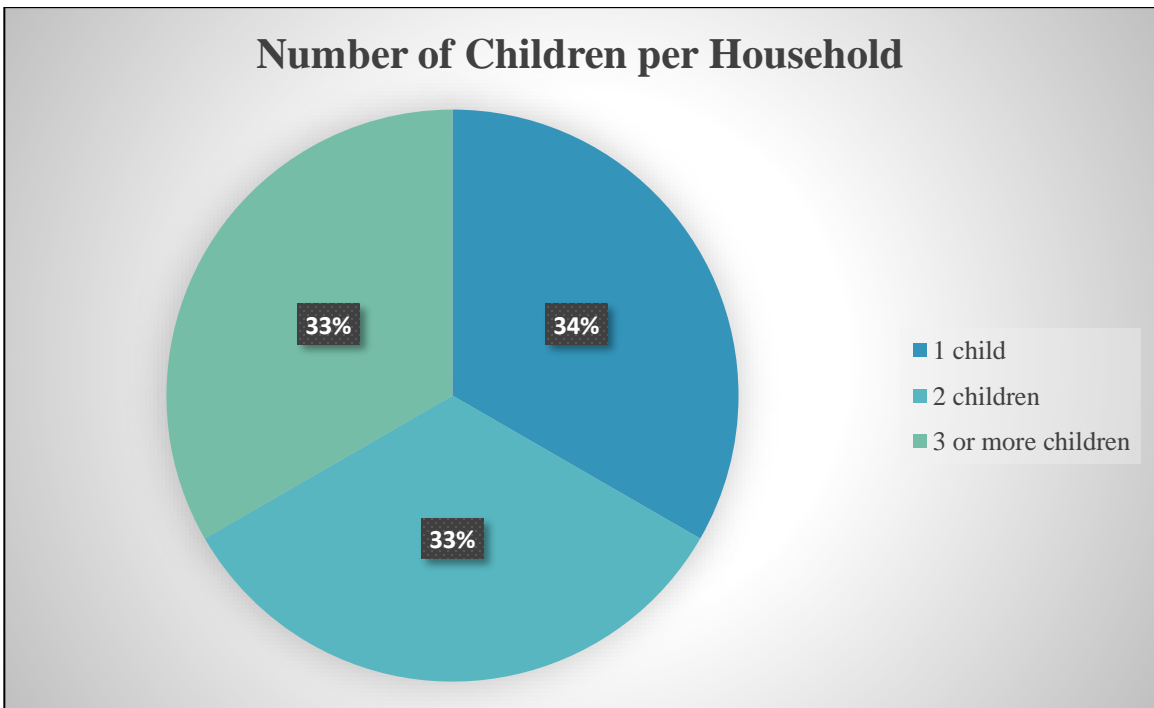


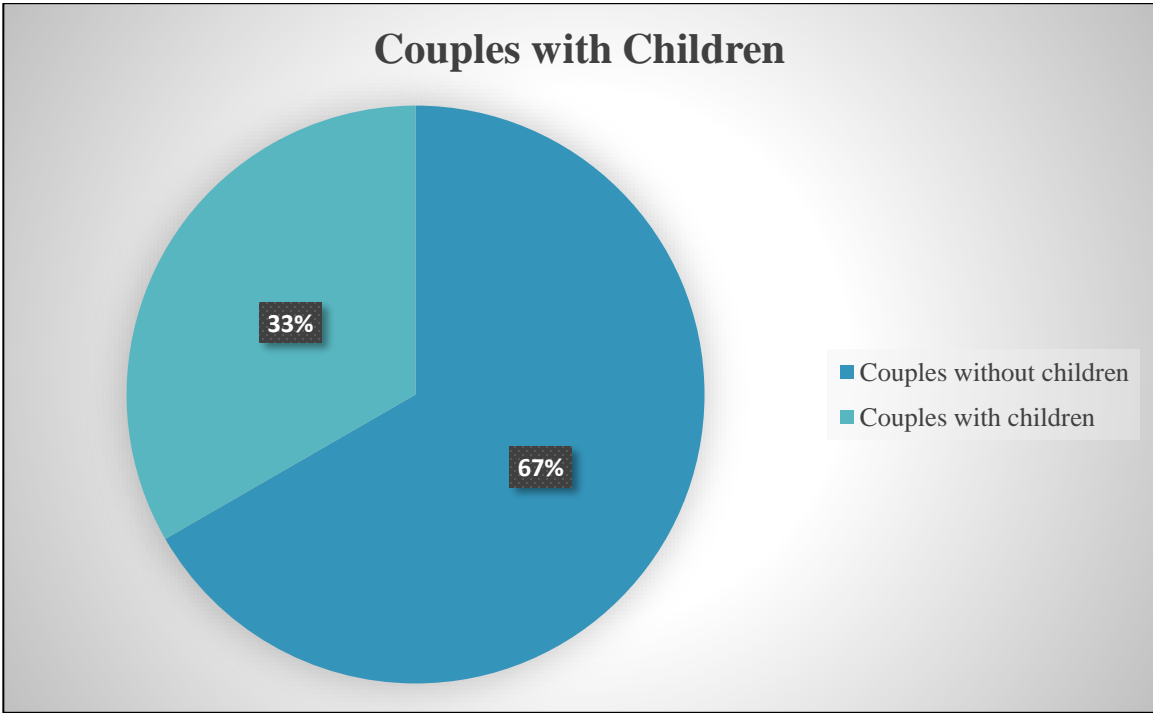
Figure 3-3



**Figure 3-4**



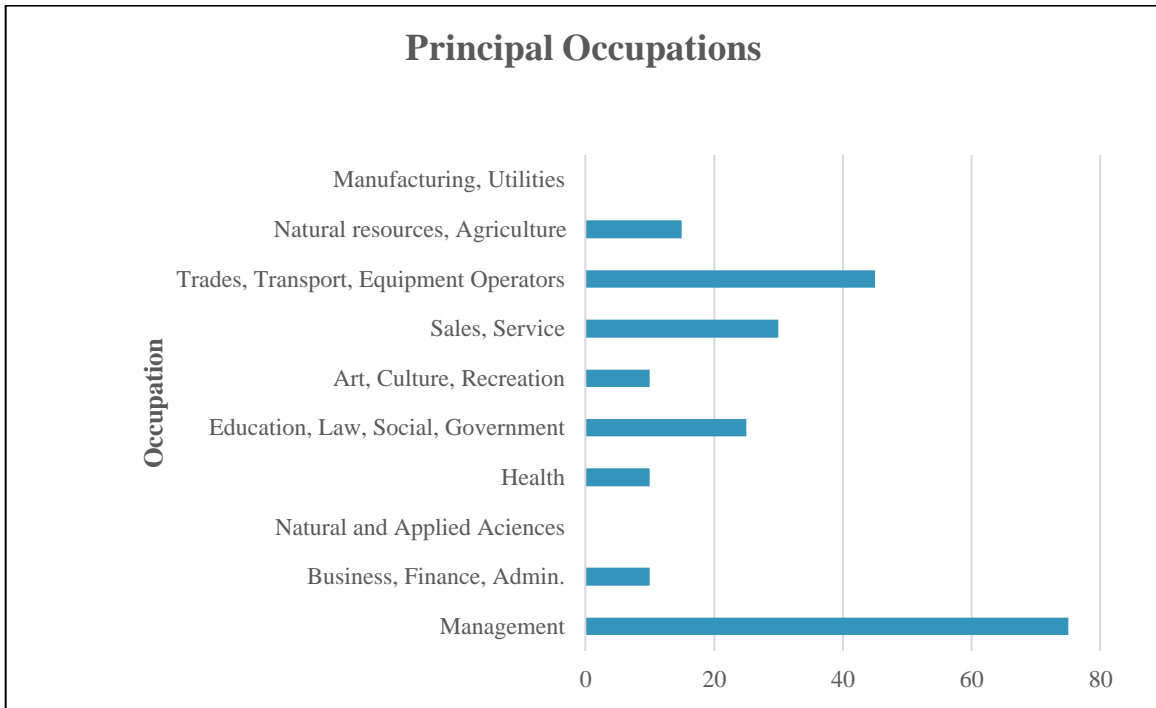
**Figure 3-5**



**Figure 3-6**

## 4 ECONOMY

Management, trades and the health sectors provide the primary means of employment for RM residents. However, the economy in the RM is based in the agricultural and natural resource sector; fields crops, pasture and some livestock. Maintaining the agricultural and rural environment of the community is important to the community and the RM will continue to support farming activities. Figure 4-1 shows the number of people employed in the principal fields of occupation.



**Figure 4-1**

## 5 INFRASTRUCTURE AND SERVICES

### 5.1 ROADS AND TRANSPORTATION

Two provincial highways, Highway Nos. 9 and 49, run through the RM. Highway No. 9 is a primary weight two-lane highway. Highway No. 49 is a heavy-haul two-lane route located along the northern boundary of the RM. The Clearing the Path Road No 637 is a gravel road designed as a primary weight corridor that runs near the eastern border of the Municipality.

Road infrastructure and highway access are important to supporting the agricultural industry. Therefore, maintaining the quality of RM roads is a priority. As part of improving road infrastructure, the main access road in the Organized Hamlet of Crystal Lake was paved in the fall of 2019.

### 5.2 WATER AND WASTEWATER SERVICES

The demand for treated water supply and wastewater disposal is often the most important consideration, as expansions to either system can be very costly. Further, lack of capacity in water or wastewater treatment systems can limit the growth of a community. Since the RM is primarily a rural community, most residences have private onsite water supply and wastewater disposal systems. The RM therefore, does not own or operate a wastewater lagoon. Sewage holding tanks from residences in the Organized Hamlet of Crystal Lake are pumped out and hauled to the lagoon in the Village of Stenen. A water treatment plant in the Organized Hamlet of Crystal Lake provides treated water for seasonal hygienic use to hamlet residents between the months of May and October. This water treatment facility is supervised and maintained by licensed personnel through the Organized Hamlet of Crystal Lake.

### 5.3 SOLID WASTE DISPOSAL

Solid waste containers are taken by residents to one of the three Parkland Regional Waste Management sites for disposal. One waste management site is located in the Organized Hamlet of Crystal Lake, and one at each municipal shop. There is a decommissioned landfill in Crystal Lake that is now used for the disposal of yard wastes (trees and branches) only.

### 5.4 MUNICIPAL SHOPS

The RM owns three municipal shops for storing equipment and machinery. The shops are located in the Organized Hamlet of Crystal Lake, in the Town of Norquay, and north of the Town of Canora.

Three fire departments serve the municipality, based on location. The Canora Fire Department services the southwest corner, the Norquay Fire Department services the east side and the Sturgis Fire Department services the northwest corner, which includes Crystal Lake. A water truck, operated by the Sturgis Fire Department, is kept at Crystal Lake to provide additional fire suppression in and around the hamlet.

## 6 RECREATION AND HERITAGE

### 6.1 RECREATION

The natural landscape provides opportunities for passive recreation such as bird-watching, fishing, and hiking. Fulton Flats conservation area is located at the west central area of the municipality. The Organized Hamlet of Crystal Lake offers a golf course and the Ukrainian Orthodox Trident Camp in Crystal Lake.

Good Spirit Lake and Provincial Park and Duck Mountain Provincial Park, which includes Madge Lake and a ski resort, are located beyond the RM boundaries but still in close proximity.

### 6.2 CULTURE AND HERITAGE

There are 29 recorded archaeological and historical sites in the RM including the remains of Doukhobor settlements, former fur trade posts, Indigenous sites, and municipal heritage properties.

#### 6.2.1 DOUKHOBOR SETTLEMENTS

Eight of the historical sites are the remains of Doukhobor settlements.

#### 6.2.2 FUR TRADE

Six former trade posts remain:

- Fort Pelly, a provincial historic site established pursuant to *The Parks Act*.
- Fort Alexandria I
- Fort Hibernia II
- Fort Alexandria
- Pierre Belleau's Post

#### 6.2.3 INDIGENOUS SITES

The remaining archaeological sites in the RM are pre-settlement Indigenous sites consisting mostly of stone artifacts exposed in cultivated fields. Two of these sites contain artifacts that are known to be several thousand years old. The Whitesand and Assiniboine rivers were important transportation corridors for First Nations and Metis people, and was particularly important during the fur trade. Land along these watercourses contain a number of sites of significance to First Nations culture and heritage. Land along Little Boggy Creek and Kamsack Creek are also likely to be heritage sensitive.

#### 6.2.4 HERITAGE PROPERTIES

Wilson Hill and Mohela Ukrainian Greek Orthodox Church are two municipally designated heritage properties.

